



Sunalta ARP Amendment Information Session Frequently Asked Questions

Background Information

What is an Area Redevelopment Plan (ARP)?

An ARP is a statutory plan that establishes land use and other City policy for a community.

Why is the Sunalta ARP being amended?

The Sunalta ARP was approved by Council in 1983. Many of the policies are still relevant and will not require any change, however, with the introduction of the new Sunalta LRT station, the community will experience increased development pressure. The Sunalta ARP amendment will be based on existing policies adopted by City Council, such as the TOD Guidelines (2005).

What is Transit Oriented Development (TOD)?

TOD Guidelines apply to an area within a five minute walk (approximately a 600 metre radius) of an LRT station. TOD Guidelines aim to ensure appropriate land uses that take advantage of transit, increase density around transit stations, create pedestrian-friendly design and plan in context with local communities.

Purpose of the Information Session

The City of Calgary is amending the Sunalta ARP in three phases.

Phase	Area	Timing
1	Next to the future Sunalta LRT Station	Approved by Council July 13 2009
2	Between 17 Avenue and the railway tracks	Currently underway
3	Between the railway tracks and the Bow River	Date to be determined

The City of Calgary is hosting this Information Session to:

- Seek your input into Phase 2 of the Sunalta ARP amendment

Phase 2 Sunalta ARP Amendment

Land Use: Potential land uses under consideration:

- 10 Avenue “high street” with retail uses at street level and a mix of residential and commercial uses on upper storeys
- Mixed uses along 14 Street
- Medium and high density residential uses north of 12 Avenue
- Existing uses retained south of 12 Avenue

Density: Potential density increases under consideration:

- Up to 2.5 Floor Area Ratio (FAR) along 12 Avenue
- Up to 3.5 and 4.5 FAR along 11 Avenue

- Up to 5.0 FAR along 10 Avenue, with up to an additional 2.0 FAR achieved through bonusing mechanisms with an emphasis on public space and public realm improvements

Building Heights: Potential building heights under consideration:

- Up to 4 storeys along 12 Avenue
- 6 to 8 storeys along 11 Avenue
- 14 to 22 storeys along 10 Avenue

Open Space: Upgrading the quality of existing open space financed through the use of capital budget funding, levies, a community investment fund or grants:

- The Sunalta Community Association Site and Cottage School Site could facilitate a range of recreational uses including a community garden, courts, chess tables, barbeque pits and art
- 16 Street between 11 and 12 Avenue could be established as a sPARK (a street park or a portion of the street that doubles as park space), which may be closed for limited time periods for special events
- Sunalta Wildflower Community Garden could provide a range of recreational opportunities

Heritage: Policies to encourage the preservation of Sunalta’s historic resources and character.

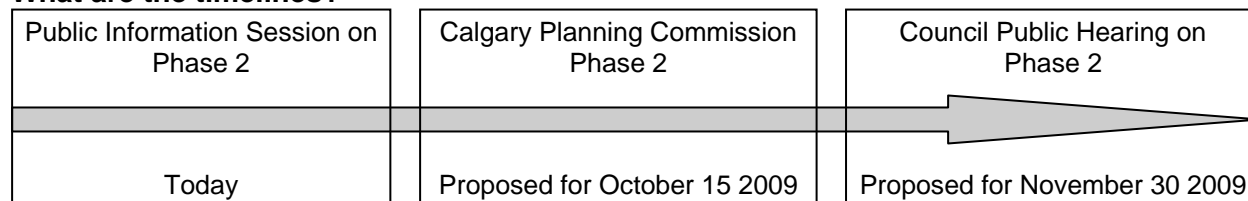
- Update the *Inventory of Evaluated Historic Resources* as new sites are indentified.
- Advise owners of financial or technical assistance available for preserving resources
- Work with property owners to formally designate significant historic resources
- Provide incentives to encourage the reuse of existing structures
- Designate 13 Avenue between 14 Street and 17 Street as a greenway that will link the Bow River and Elbow River and contribute to the interpretation of the community’s history

Transportation: Proposed transportation improvements include:

- Improved pedestrian and bicycle connections and tree environment
- New laneway north of 10 Avenue
- Future Sunalta LRT Station and “transit plaza”, new pedestrian and bicycle connection over the railway tracks
- New intersection at 10 Avenue and 14 Street
- Modifications on 10 Avenue to reduce traffic volumes on 11 and 12 Avenue with further study to examine 11 and 12 Avenue for sidewalk or boulevard improvements

Timelines and Next Steps

What are the timelines?



Get Involved!

- Review the draft Phase 2 Sunalta ARP amendment online at www.westlrt.ca – send comments to Christine.Khandl@calgary.ca before September 21 2009
- Attend the Public Hearing of Council on Phase 2 on November 30 2009
- Contact planning staff directly if you need more information: Robyn 268-3480 or Christine 268-2918